

REQUIREMENTS FOR A RESIDENTIAL BUILDING PERMIT

RESIDENTIAL CONSTRUCTION IN THE TOWN OF ST. MICHAELS MUST CONFORM TO THE STANDARDS ADOPTED BY THE TOWN (SEE CHAPTER 340 OF THE CODE OF THE TOWN OF ST. MICHAELS AND BUILDING CODE). THE PURPOSE OF THIS BULLETIN IS TO PROVIDE INFORMATION CONCERNING THE REQUIREMENTS THAT YOU MUST MEET TO DOCUMENT YOUR ADHERENCE TO THOSE STANDARDS.

A building permit/zoning certificate is required for new construction or significant alteration of any residential and commercial structure in Talbot County. Historic District Commission approval, if required, must be obtained before applying for a building permit. Commercial construction requires plans to be prepared by an architect or engineer.

STEP ONE:

Complete the building permit application available in the Town Office, 300 Mill Street, St. Michaels. To complete this form you will need the following:

1. The name of the owner(s) of the property, their mailing address and telephone number.
2. The name, mailing address and telephone number of the party to whom the approved permit or any necessary correspondence is to be mailed.
3. Contractor/Builder's name, mailing address, telephone number and license number. If constructing a new residence the Maryland Home Builders Registration (MHBR) number is required. All other construction requires the Maryland Home Improvement Contractor Number (MHIC).
4. County tax, map/grid/parcel numbers, subdivision name, section and lot number for the property. This information can be obtained from our office or at Real Property Search www.sdatcert3.resiusa.org/rp_rewrite/. Zoning classification can be obtained from the Town Office at 410-745-9535, Ext. 14 or 15.
5. Setback requirements correspond to zoning and property size in accordance with the Chapter 340 of the Code of the Town of St. Michaels. All proposed structures must meet required setbacks measured from property lines to the proposed structure.
6. Description of property in terms of acreage or square footage, depth and width of lot and road frontage.
7. Description of the proposed construction including dimensions of new construction, plan area, total square footage, occupied area and height of structure(s) above grade.
8. Electrical and plumbing contractor's names and/or firms, if known.
9. Value of construction. This figure represents the value of construction of the completed structure(s) excluding utility hook-ups, driveway and landscaping.

PLAN SUBMITTAL:

1. All building permit applications require three (3) to scale plot plans and two (2) to scale complete sets of building plans or blueprints which include a floor plan: showing door and window sizes, foundation plans, cross section details and elevations.
2. Zoning Certificates require two (2) to scale plot plans showing the same information as stated for building permit plot plans. Zoning Certificates are for unoccupied accessory structures such as sheds, above ground pools, satellite dishes, fences, etc.

CALCULATING DISTURBANCE:

1. If the property lies within the Chesapeake Bay Critical Area, the applicant will need to complete the critical area portion of the **Impervious Area and Disturbance Calculations Worksheet**. To complete this form, it shall be necessary to know the total area of all impervious surfaces on the property including all structures (footprints), driveways, parking areas, pools etc. For all construction the applicant will need to complete the disturbance column of the aforementioned worksheet. When calculating total disturbance, a twenty (20) foot buffer shall be added to the dimensions of the proposed structure. This computation will be used to determine whether a sediment and erosion control permit or stormwater management plan is required.
2. For properties outside critical area the applicant will need to complete the **Disturbance Calculations Outside Critical Area** sheet using the same formula as stated above.
3. If found at the time of application that your proposed construction requires Stormwater Management (SWM) or Soil Conservation (SCS) approval our office will send you with the required information needed to apply.

STEP TWO:

Complete building permit application:

When you have all of the information required and you are prepared to apply for the building permit/zoning certificate the Zoning Inspector will assist you in completing your applications, computing all fees and ask you to sign various documents.

Additional fees (other than the permit fee) may be assessed during the building permit process depending on the nature and location of the project.

STEP THREE:

1. The application is reviewed for compliance with the International Building Code, International Residential Code and other codes as adopted by the Town.

2. The application is reviewed for compliance with the Town of St. Michaels Flood Plain Ordinance. If compliance with the Flood Plain Ordinance is required, revised plans may be required to meet the Flood Plain Ordinance criteria.
3. The application is reviewed for conformance with all applicable zoning, stormwater management, fire code, critical area and wetlands regulations and flood plain. Copies of other applicable federal, state and county permits or certificates must be submitted prior to issuance of the building permit.
4. Once the review process and approvals are completed, the Zoning Inspector will issue the permit. With an approved building permit/zoning certificate you will receive a copy of the approved building permit/zoning certificate and a construction card, one set of approved plans, a plot plan, impervious coverage worksheet, a copy of any applicable special conditions and a list of required inspections.

STEP FOUR:

Upon receipt of the permit and associated documentation, it is the applicant's responsibility to **properly post** the construction card in an accessible weather-proof jacket and in close proximity to the construction site. The Building Inspector will initial this card after each approved inspection.

The building permit/zoning application is valid for 12 months after issuance. It should be noted that the start of the construction must commence within 6 months or the permit will become null and void.

STEP FIVE:

Required inspections. It is the responsibility of the applicant or their appointed agent to call for the required inspections 24 hours in advance of the date of the required inspection. These inspection requests are phoned in to the Middle Department Inspection Agency (MDIA) between the hours of 7:30 a.m. and 4:00 p.m. each working day at 410-822-8300. When calling for an inspection you will need to provide the building permit number.

Required inspections include:

1. Footing/ Setback: following trench excavation and prior to pouring concrete. (Check for benchmark and crawlspace elevation if property is in Flood Hazard Area).
2. Foundation: following completion of foundation and prior to backfill (A certificate of elevation is required prior to foundation inspection request if construction is in flood zone).
3. First floor framing: performed after installation of floor framing system and before decking.
4. Rough plumbing if applicable.
5. Rough electric if applicable performed by MDIA by calling 410-822-8300.
6. Framing performed after plumbing, electric and HVAC rough-ins are complete.
7. Insulation.
8. Final plumbing if applicable performed by MDIA by calling 410-822-8300.

9. Final electric if applicable performed by MDIA by calling 410-822-8300.
10. Final building after final electric and final plumbing are performed (elevation certificate required prior to requesting information for flood zone).

STEP SIX:

Occupancy Permits and Completion Certificates will be mailed when all final inspections and approvals have been completed.

VIOLATIONS:

Penalties for noncompliance. Failure to obtain a building permit/zoning certificate is considered a violation of Chapter 340 of the Code of the Town of St. Michaels and Building Code and is subject to the penalty provisions as set forth in Article XIV of the afore noted Code.

CONTACTS FOR BUILDING PERMIT PROCESS

Town of St. Michaels Zoning Inspector Building Permits, Zoning Certificates	410-745-9535
Middle Department Inspection Agency (MDIA) Building, Electrical Permits, Plumbing Permits/Inspections	410-822-8300
Talbot County Soil Conservation District Sediment & Erosion Control Plan Evaluation	410-822-1577
St. Michaels Department of Public Works Water Connections	410-745-9535 Ext. 10
Talbot County Public Works Sewer Connections	410-770-8170
State Highway Access State Access Evaluation	410-822-3525
Roby Hurley Critical Area Circuit Rider	410-822-3744

For more information, please visit our web site at: www.talbgov.org

ALL PERMITS MUST BE APPLIED FOR IN PERSON. WE WILL NOT ACCEPT ANY PERMIT APPLICATIONS BY MAIL.

Note: Applications must be submitted on this form; one-sided Xeroxes and facsimiles are not valid and will not be processed.

Application # _____

Date _____

Fees _____

Town of St. Michaels

APPLICATION FOR ZONING CERTIFICATE / BUILDING PERMIT

OWNER (S) _____ Address _____
Daytime Telephone _____
Mailing address _____

APPLICANT _____ Address _____
Daytime Telephone _____

BUILDER _____ Address _____
Daytime Telephone _____
MHIC# _____

Application is being made for the following purpose(s):

New Construction _____ Demolition _____ Sign _____
Addition _____ Fence _____ Patio _____
Porch _____ Deck _____

Description of Work _____

Address of Property _____ **Cost of Construction \$** _____
Tax Map No. _____ **Parcel #** _____
Zoning Classification _____ **Land Area** _____
Land Use: Residential _____ Commercial _____ Other _____
First Floor Sq. Ft. _____ **No. of Stories** _____ **Height** _____ **No. of Families** _____

Required Setbacks	Proposed Setbacks	Comments
Front _____	Front _____	_____
Rear _____	Rear _____	_____
Side _____	Side _____	_____
Mean High Water _____	Mean High Water _____	_____

Lot Type _____	Lot Dimensions -- Front _____	Side _____	Lot Area _____
Flood Zone Designation _____	Critical Areas Designation _____		
Required Parking Spaces _____	Parking Spaces Provided:	On Site _____	EPS _____
Grandfathered _____	EPS Spaces Purchased With This Application _____		

Lot Coverage (does not include driveways, sidewalks or at grade patios).

Existing _____ S.F. Proposed _____ S.F. Maximum Coverage _____ %

Parking

Existing Spaces _____ Required _____ On-site _____ EPS _____ Purchased _____ Grandfathered _____

AGREEMENT TO APPLICATION AND CONDITIONS

The applicant hereby agrees to comply with all regulations applicable to the permit requested, and further agrees that any misstatement or misrepresentation of facts, or any change without the approval of the agencies concern, shall constitute sufficient grounds for denial or revocation of a permit. Any proposed change to an approved application must be submitted to the proper officials and/or Boards and Commissions for review and approval. Notice is given that as a condition of this permit, and applicant/owner grants permission to Town officials or their designees to have the right to enter the property for the purpose of inspecting the permitted work and posted notices. **An Occupancy Permit may be required prior to the use of the structure for which a permit has been issued.**

Date _____ Signature of Owner _____

INSPECTIONS	Required	Approved		Required	Approved
Plan Review	_____	_____	Insulation	_____	_____
Location & Setbacks	_____	_____	Plumbing	_____	_____
Footing	_____	_____	Electrical	_____	_____
Foundation	_____	_____	Final	_____	_____
Framing	_____	_____			

OTHER APPROVALS

Historic Dist Comm.	_____	_____	Water Connection	_____	_____
Bd of Appeals	_____	_____	Sewer Connection	_____	_____
Planning Comm.	_____	_____	Flood Plain	_____	_____
Bd of Port Wardens	_____	_____	Critical Areas	_____	_____
Fire Marshall	_____	_____	Storm water Mgmt.	_____	_____
Sediment/Erosion	_____	_____	CA 10% Rule	_____	_____

ZONING CERTIFICATE/BUILDING PERMIT

This application # _____ having been made for a Zoning Certificate/Building Permit and the proposed action, structure, and/or use being in conformity Chapter 340 of the Code of the Town of St. Michaels, MD, I hereby issue this **ZONING CERTIFICATE/BUILDING PERMIT**, subject to the International Building Code, all required inspections and approvals, and the following condition:

This zoning certificate/building permit expires in 12 months from its date of issuance if the work for which it is issued has not begun, or in 24 months from its date of issuance if the work for which it is issued is not proceeding satisfactory towards completion, or upon the issuance of an occupancy permit.

Date _____ Zoning Inspector _____

OCCUPANCY PERMIT

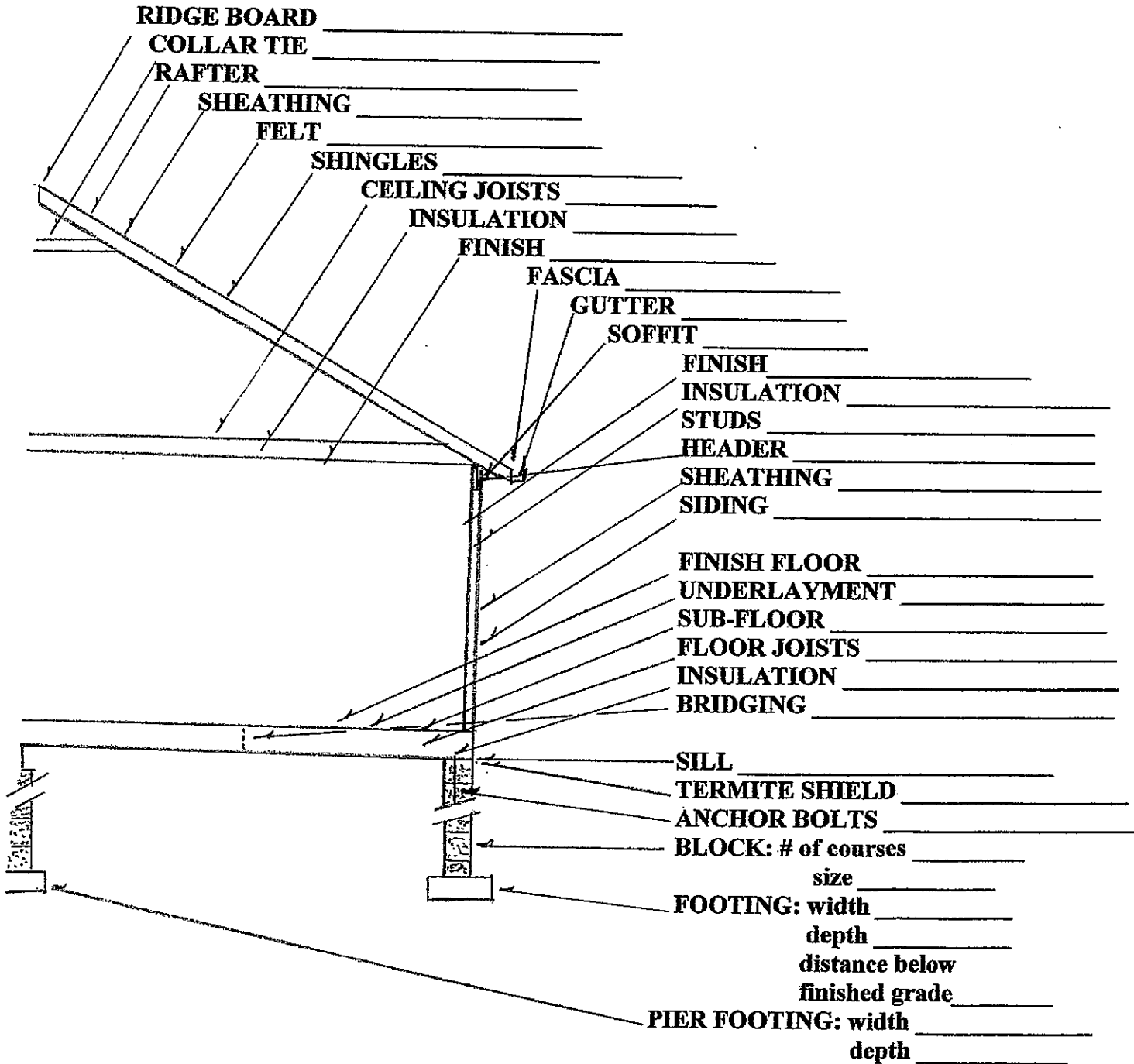
Inspection of the completed work described on the permit having been made on the above dates, an **Occupancy Permit** is hereby authorized on the basis of use, arrangement, and construction. Use, arrangement, and construction differing from the authorized shall be deemed Chapter 340 of the Code of St. Michaels, MD, and shall be punishable as provided by Article XIV Code.

Date: _____ Zoning Inspector _____

BUILDING DETAIL SHEET

This form may be filled out for small additions or alterations of existing buildings. Fill in the necessary dimensions for those items listed below.

PERMIT NUMBER: _____
 DATE: _____
 APPLICANT: _____



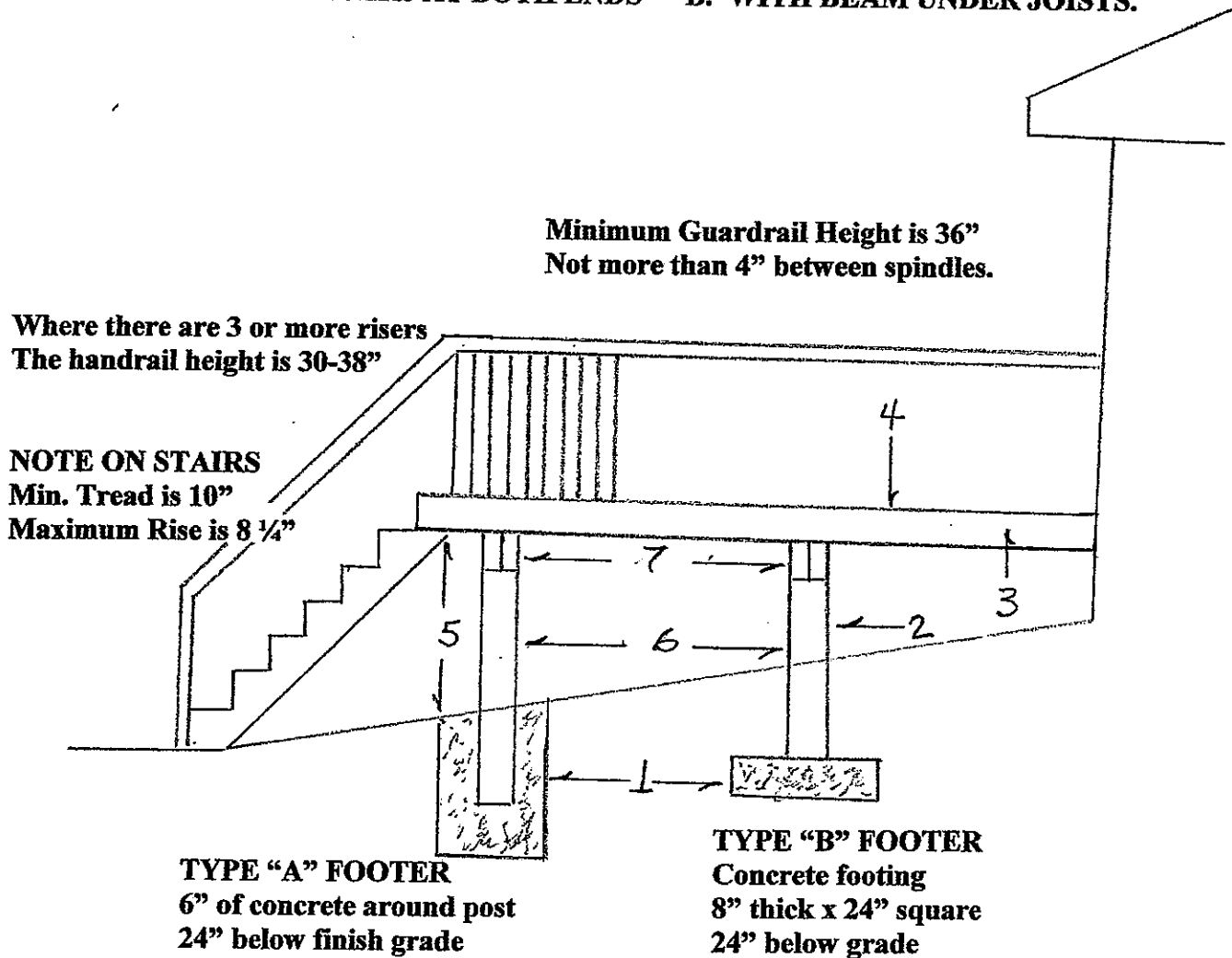
APPLICANTS SIGNATURE _____

Deck Detail Sheet

1. FOOTING TYPE _____
2. POST SIZE _____
3. JOIST SIZE _____
4. FLOOR MATERIAL _____
5. DISTANCE ABOVE FINISHED GRADE _____
6. DISTANCE BETWEEN POST _____
7. SIZE OF BEAM (Beam is to be doubled) _____

NOTE: WHEN DECK IS ATTACHED TO HOUSE, PLEASE STATE THE METHOD OF ATTACHMENT A OR B:

- A. JOIST HANGERS AT BOTH ENDS B. WITH BEAM UNDER JOISTS.**



THE COMMISSIONERS OF ST. MICHAELS

FEE SCHEDULE

AS OF JULY 22, 2009

(Authorized by Chapter 42 and adopted per Resolution 2009-16)

SECTION 1 - PERMITS

BUILDING, GRADING, SIGN AND DEMOLITION PERMITS	PERMIT FEE
Cost of work: \$0-\$49,999	\$ 35.00 per Zoning Certificate
Cost of work: \$50,000 and up	\$ 8.00 per \$1,000 – all inclusive
Grading Permit	\$ 50.00

RESIDENTIAL SPRINKLER INSPECTION	PERMIT FEE
New Construction:	
• Not over 2500 sq. ft.	\$ 85.00
• 2501 sq. ft. to 3500 sq. ft.	\$100.00
• Over 3500 sq. ft.	\$100.00 + \$5.00 per 100 sq. ft.
Additions:	
• Not over 1,000 sq. ft.	\$ 60.00
• Over 1000 sq. ft.	\$ 85.00

SECTION 2 – APPLICATIONS TO BOARDS AND COMMISSIONS

BOARD OF APPEALS	APPLICATION FEE	CONDITIONS, ADDITIONAL EXPENSE, NOTES
Special Exception	\$150.00 per application	PLUS advertising/public notice costs. PLUS \$200 deposit toward the cost of a stenographer and/or transcript. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.
Variance	\$150.00 per application	PLUS advertising/public notice costs. PLUS \$200 deposit toward the cost of a stenographer and/or transcript. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.
Allegation of Error	\$300.00 per application	PLUS advertising/public notice costs. PLUS cost of stenographer and/or transcript. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.

PLANNING COMMISSION	APPLICATION FEE	CONDITIONS, ADDITIONAL EXPENSE, NOTES
Subdivision	4 lots or less = \$200.00 per lot 5 to 10 lots = \$300.00 per lot 11 lots or greater = \$400.00 per lot	PLUS advertising/public notice costs. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.
Lot Line Revision	\$100.00	PLUS advertising/public notice costs. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.
Site Plan Review – Simplified (Administrative review only per Chapter 110-2 (B) of the Code of the Town of St. Michaels)	\$150.00	PLUS advertising/public notice costs. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.
Site Plan Review - Major (Required review by the Planning Commission and a public meeting with notification being sent to the adjacent property owners per Chapter 110-6 of the Code of the Town of St. Michaels)	\$300.00	PLUS advertising/public notice costs. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.

TOWN COMMISSIONERS	APPLICATION FEE	CONDITIONS, ADDITIONAL EXPENSE, NOTES
*NOTE: Application Fees listed in this section apply to original applications. Subsequent applications/amendments to existing applications will be treated as new applications for the purpose of accessing fees and costs.		
*Annexation	\$5000.00 application fee per petition/amendment <u>PLUS</u> \$10,000.00 deposit applied against expenses with a \$2,000.00 required minimum balance.	PLUS advertising/public notice costs. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.
*Zoning Actions for "Major Developments" (10 or more acres, or a proposed development with 5 or more structures or 5 or more commercial or residential units); including, but not limited to Growth Allocation, TND or other overlay zoning	GROWTH ALLOCATIONS = \$5,000.00 application fee per application <u>PLUS</u> \$10,000.00 deposit applied against expenses with a \$2,000.00 required minimum balance <u>TND</u> = \$7,500.00 application fee per application/amendment <u>PLUS</u> \$10,000.00 deposit applied against expenses with a \$2,000.00 required	PLUS advertising/public notice costs. PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.

See Previous Page	<p>minimum balance</p> <hr/> <p><u>OTHER OVERLAY ZONE</u> = \$5,000.00 application fee per application/amendment <u>PLUS</u> \$5,000.00 deposit applied against expenses with a \$1,000.00 required minimum balance</p>	See Previous Page
Piecemeal rezoning	<p>\$5,000 per application <u>PLUS</u> \$5,000.00 deposit applied against expenses with a \$1,000.00 required minimum balance</p>	<p>PLUS advertising/public notice costs.</p> <p>PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.</p>
Request for legislation (non-zoning and zoning)	<p>\$2,000.00 per application <u>PLUS</u> \$2,000.00 deposit applied against expenses with a \$500.00 required minimum balance</p>	<p>PLUS advertising/public notice costs.</p> <p>PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.</p>
Stormwater Management	<p>\$1,000.00 per application <u>PLUS</u> \$5,000.00 deposit applied against expenses with a \$1,000.00 required minimum balance</p>	<p>PLUS advertising/public notice costs.</p> <p>PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.</p>

HISTORIC DISTRICT COMMISSION	APPLICATION FEE	CONDITIONS, ADDITIONAL EXPENSE, NOTES
<p>Minor Impacts:</p> <p>(1) Accessory structures less than 300 square feet</p> <p>(2) Modifications to existing accessory structures</p> <p>(3) Modifications to primary structures that result in no change to the total square footage of the structure</p> <p>(4) Appurtenances</p> <p>(5) Signs</p> <p>(6) Fences</p> <p>(7) HVAC equipment</p> <p>(8) Addendums to original applications</p>	\$50.00 per application	Applications in the "Minor Impact" category requiring a variance are considered to be "Moderate Impact"
<p>Moderate Impacts:</p> <p>(1) Accessory structures greater than 300 square feet</p> <p>(2) Additions resulting in less than a 25% increase in the square footage of a structure.</p>	\$ 150.00 per application	
<p>Major Impacts:</p> <p>(1) Additions resulting in an increase of 25% or greater of the square footage of the structure</p> <p>(2) All new primary structures</p>	<p>\$ 250.00 per application <u>PLUS</u> \$500.00 deposit applied against expenses</p>	PLUS all legal fees, third party costs and out-of-pocket costs incurred by the Town.

SECTION 3 – MISCELLANEOUS

BED AND BREAKFAST INN	PERMIT/APPLICATION FEE
Initial review and permit	\$250.00 per application
Yearly renewal	\$100.00 per application

VACATION RENTAL	PERMIT/APPLICATION FEE
Initial review and permit	\$250.00 per application
Yearly renewal	\$100.00 per application

COPIES & MANUALS (Many of our Town documents are available on line at www.townofstmichaels.com)	FEE
Single page copies (letter or legal, black & white)	\$0.25 per page.
Single page copies (over-sized black & white)	\$0.50 per page or actual cost of copying, whichever is greater.
Single page copies (letter or legal, color)	\$1.00 per page.
Single page copies (oversized, color)	\$1.50 per page or actual cost of copying, whichever is greater.
Audio CD Copy of any document (CD audible only on computer playback)	\$5.00

CRITICAL AREA MITIGATION and OFF-SET FEE	PERMIT/APPLICATION FEE
Tree Planting	\$ 1.50 sq. ft.
Stormwater Management (10% Rule for Residential)	\$ 2.50 sq. ft.
Phosphorus Stormwater Management (10% Rule)	\$ 30,000.00/ LB

MISCELLANEOUS	PERMIT/APPLICATION FEE	CONDITIONS, ADDITIONAL EXPENSE, NOTES
Equivalent Parking Fee	\$3,000.00 per parking space	Payment plans are available through the Town office for Equivalent Parking Spaces (EPS). There is no interest or handling charges assessed on payment plans. The first payment on all plans is due 12 months after the EPS permit is issued. Plan terms are based on the number of parking spaces requested: (CONTINUED)

See Previous Page	See Previous Page	<ul style="list-style-type: none"> 1 to 10 parking spaces = 3 year repayment plan due in 6 equal semi-annual installments paid to the Town office (2 payments per year). <p>Greater than 10 parking spaces = 5 year repayment plan due in 10 equal semi-annual installments paid to the Town office (2 payments per year).</p>
Interest Rate on outstanding fees and/or expenses owed to the Town (assessed after 60 days)	10%	
Consulting Arborist	\$150.00 or actual cost, whichever is less	

END OF DOCUMENT



Town of St. Michaels
300 Mill Street, P.O. Box 206
St. Michaels, MD 21663

NOTICE AND ACKNOWLEDGEMENT OF FEE SCHEDULE AND
APPLICATION CONDITIONS AND REQUIREMENTS

All applications and requests filed with the Town of St. Michaels are subject to certain conditions and requirements prescribed by Town Code, the Town Fee Schedule and/or State law. Before filing an application or request with the Town, it is recommended that the applicant and the property owner(s) consult Chapter 42 (Fees) of the Code of the Town of St. Michaels.

The named applicant(s)/property owner signing below acknowledges that certain conditions and requirements of Chapter 42 of the Town Code may apply by operation of law to this application. Failure to sign this acknowledgement does not negate the applicability of any conditions, requirements or limitations mandated by law. If the applicant is not the property owner, either this acknowledgement or the application form must be signed by the owner(s) of record. (Please use reverse side for additional applicant information/signatures.)

File Number _____ Project Description _____

1. Print Name of Owner _____	Signature of Owner _____	Date _____
Address _____		

2. Print Name of Owner _____	Signature of Applicant, if not the owner _____	Date _____
Address _____		

3. Print Organization Name _____	Signature of Officer _____	Date _____
Address of Organization _____		
Address of Officer _____		

I certify that the applicant/property owner has been provided a copy of this notice and the current Fee Schedule.

_____ Date

_____ Signature of Town Staff

4. Print Name _____ Signature _____ Date _____
Title _____
Address _____

5. Print Name _____ Signature _____ Date _____
Title _____
Address _____

6. Print Name _____ Signature _____ Date _____
Title _____
Address _____

7. Print Name _____ Signature _____ Date _____
Title _____
Address _____

8. Print Name _____ Signature _____ Date _____
Title _____
Address _____